



Date: June 3, 2010

File: B-60

Subject: Recommendation Report
Heritage Theatre Block Redevelopment (Ward 1)

COMMITTEE OF COUNCIL

DATE: June 16, 2010

Contact: Alex Taranu,
Manager, Urban Design, Community Design, Parks Planning and
Development Division – 905.874.3454

Overview:

- On February 28, 2005 a moratorium was placed on the Theatre Block for a period of 24 to 36 months after the completion of Phase One improvements.
- Following the Council workshop in October 2009, staff proceeded and directed the consultant, ERA Architects, to prepare an Adaptive Reuse Plan based on the preliminary Due Diligence completed earlier.
- The Due Diligence and Heritage Assessment Study concluded that the Theatre and surrounding block has heritage value and recommended adaptive reuse in particular for the Theatre.
- The consultant recently completed a Concept Plan and an Order of Magnitude cost estimate for the Adaptive Reuse Redevelopment Plan for the entire block in public ownership.
- The concept proposes to level the floor and reuse the main theatre hall as multi-use arts, culture and entertainment space, to retrofit the street-related spaces at ground floor for retail/commercial use and to adapt the second floor spaces for administration and commercial uses.
- It is estimated that the adaptive reuse work could cost \$4-5 million.
- Phase One improvements have been completed in 2006 and it is recommended that the moratorium be maintained until the completion and approval by Council of the Business Plan that will provide details on the operation, programming and adaptive reuse as a public or private operated facility.
- A working team is proposed to develop the Business Plan led by Community Services Department and with participation from other City Departments involved.
- Following consultation with the stakeholders, staff will report back with the results of the Business Plan and budget proposal for 2011.

Recommendations:

1. **THAT** the report from Alex Taranu, Manager, Urban Design, Community Design, Parks Planning and Development Division, dated June 3, 2010, to the Committee of Council Meeting of June 16, 2010, re: **Recommendation Report – Heritage Theatre Redevelopment – Ward 1** (File B-60), be received;
2. **THAT** the Concept Plan for Adaptive Reuse of the Heritage Theatre Block prepared by ERA Architects be approved by Council;
3. **THAT** the moratorium for the demolition of the Heritage Theatre Block be maintained until Council approval of the Business Plan that provides details related to the operation, programming and adaptive reuse for the Theatre Block;
4. **THAT** staff be directed to create a working team lead by the Manager of Arts, Culture & Theatre Division of the Community Services Department .The working team would include staff members from the Planning, Design and Development, Economic Development and Communications, and the Buildings and Property Management Departments;
5. **THAT** a Business Plan for the operation and adaptive reuse of the Heritage Theatre block based on the approved concept plan be prepared for consideration during the 2011 budget process;
6. **THAT** the Business Plan for the operation and adaptive re-use be established for a period of 5 years, and be reviewed for another 5 years once the building is fully functional and operational subject to Council approval for the continued operation of the facility; and
7. **THAT** staff be directed to hold a Public Information Session to obtain public input on the proposed Business Plan for the Heritage Theatre Block.

Background:

The Heritage Theatre and surrounding block was subject to intense work in the last few years and a number of staff reports.

On February 23, 2005, Council approved Phase One of the Heritage Theatre Block improvement comprising of painting and minor renovation improvements, and the commencement of the Phase Two feasibility study (CW090-2005).

In the context of the completion of Rose Theatre, Council directed that:

- *The buildings contained within the Heritage Theatre Block will remain in place for at least twenty-four (24) to thirty-six (36) months after the completion of the work outlined in Phase 1; and,*

- *Staff be directed to include a public consultation process to assist in determining the highest, best and most appropriate use for the property.*

Phase One improvement works for the Heritage Theatre block was completed in 2006. Staff hired E.R.A. Architects to commence Phase 2, and a heritage background assessment study of the block was completed in May 2009 (see *Appendix 'A'*).

The consultants provided the following findings and key recommendations:

1. The Heritage Theatre Block possesses cultural value for contextual and architectural reasons.
2. In particular the Heritage (Capitol) Theatre should be retained (in full or in part), specifically the portion which contributes to the streetscape of Main Street.
3. The physical condition of the four existing buildings within the Heritage Theatre Block does not warrant demolition.

The findings of the consultant report were presented at the October 2009 Council workshop. At the workshop, Councillors requested that staff investigate the opportunity and costs associated with the adaptive reuse of the Theatre Block.

As a result of the workshop outcome, staff has worked with ERA Architects to develop an Adaptive Reuse Concept Plan and to complete an Order of Magnitude cost estimate for the Heritage Theatre Block. The result of the study is presented in this report for Council consideration.

Current Situation:

The Heritage Theatre Block is comprised of four buildings with an approximate gross floor area of 1,561 square metres. Currently, 70 and 76 Main Street North is leased to the Brampton Arts Council and further sub-leased to Beaux Art Non-Profit Visual Artists Co-Operative Organization and Brampton Theatre School. The lease with Brampton Arts Council is a month-to-month, with the understanding that the City would probably not require vacant possession of the premises prior to the end of 2010. The Heritage Theatre and 80 Main Street North are currently vacant. An annual budget of approximately \$50,000 is set aside for the operation and servicing of the block by the Community Services Department.

The entire block is located within Special Planning Policy Area Number 3 and any new buildings or structures, including new additions, are subject to the regional flood regulatory requirements of the Toronto & Region Conservation Authority (TRCA). Taking into consideration the ongoing discussions with the TRCA regarding Downtown Brampton regional flood mitigation issues, there is no assurance that any redevelopment of the block beyond its current footprint will receive approval from the TRCA. The length of the approval process is uncertain.

The Adaptive Reuse Concept Plan:

ERA Architects, a prominent heritage firm with experience in the field, have evaluated a number of concepts, and based on the preliminary due-diligence available, have prepared an Adaptive Re-use Concept Plan (*see Appendix 'B'*) based on the premise that the Heritage Block will remain in public ownership. Due to Special Policy Area (TRCA) limitations all work will occur within the existing footprint of the existing block.

The Adaptive Reuse Concept evaluates the existing buildings and spaces and proposes the following approaches:

General provisions:

- Interior upgrades of the valuable commercial space fronting onto Main Street North to animate the street and support active retail uses. These spaces can be leased to public and/or private operators.
- Retrofitting the upper floors and mezzanine of the block to house administration or retail/commercial spaces.
- Provisions of exit and safety requirements and washrooms to meet building and accessibility code.
- Preservation of the interior courtyard for service and as complement to the Rose Theatre service access.

Building specific provisions:

Heritage Theatre (82 Main Street North)

- Restoration of the façade and marquee of the Heritage Theatre to its original design.
- Levelling the ground floor to accommodate a multi-use space in support of arts, cultural and entertainment events and street related retail/commercial space (both with potential for ancillary outdoor spaces).
- Opening the north wall leading to exterior patios or garden space.

76-78-80 Main Street North

- Façade improvements.
- Retail/commercial at ground floor, office services at upper floors.

72-74 Main Street North (Robson Block)

- Opening up the southerly wall of 70 Main Street north to animate Vivian Lane and to increase the retail frontage.
- Upper floors could be used for office/service or cultural amenities.

Order of Magnitude Cost Estimate:

Based on the above concept plan, the order of magnitude cost estimated for this adaptive re-use strategy is \$4 to \$5 million or approximately \$2,562 to \$3,203 per square metre. These are preliminary capital cost figures and will be updated as the program use and design are further developed and specific details are known. Operating costs will be identified in the future through the Business Plan Study.

Business Plan Development:

Through discussions with the Community Services Department, the adaptive reuse of the main Heritage Theatre space as an event space, complementary to the Rose Theatre activities, has been confirmed as being a viable option. In addition, the refurbishment of the balance of the block into viable street-related commercial space to support the arts will be taken into consideration. To determine the best operating model for the adaptive reuse of the block to function as viable addition to the downtown, it is recommended that a business case is developed to assess the merits of both publicly and privately operated facilities.

To develop the Business Plan staff recommends that a working team lead by the Manager of Arts, Culture & Theatre Division of the Community Services Department prepares a Business Plan for the operation of the block. The working team would include staff members from the Planning, Design and Development, Economic Development and Communications, and the Buildings and Property Management Departments. The working team will consult with other departments and key stakeholders through the development of the Business Plan.

The Business Plan for the adaptive re-use shall establish the operation of the block for a period of 5 years. Once the building is fully functional and operational it can be reviewed for another 5 years subject to Council approval for the continued operation of the facility. The business case will also make recommendations if the block will be a publicly or privately operated facility, or a combination. Once the Business Plan is established, a refined conceptual design and development cost estimate will be prepared for the 2011 budget consideration.

Subject to Council direction to proceed with the adaptive re-use approach for the Heritage Theatre Block, staff will report back with the findings of the Business Plan and budget implication for 2011 and beyond. Once the Business Plan is approved, the redevelopment plan shall be presented to external stakeholders and the public in order to receive their input. This will help narrow down the choices and identify the interest of potential partners.

Staff also recommends that the moratorium for the demolition of the Heritage Theatre Block be maintained and that the business plan for the operation and adaptive reuse be developed.

Corporate Implications:

Community Services Department

Community Services Department supports the extension of lease to 70 and 76 Main Street North to the Brampton Arts Council for continuing support of the sublease to Beaux Arts for another year. It is recommended that the Heritage Block uses shall be HACE supportive and private sector input will be a key factor to the Business Plan as a commercial/retail component will be required to make the Return of Investment (ROI) attractive for capital investment.

Buildings and Property Management Department

The Brampton Arts Council lease is presently month-to-month. It is suggested that any renovations or upgrades for extension to the contract be borne by the tenants. The Building and Property Management Department will be part of the overall discussions throughout the Business Plan process.

Economic Development Department

The Economic Development Department suggests that as part of the Business Plan, the sub lease for Beaux Arts and Brampton Theatre School be evaluated for extension to the end of 2011. The lease of any available commercial space should support the emerging HACE district plan currently under development.

The Business Plan should involve consultations with external stake holder such as the Brampton Downtown Development Corporation to capitalize on their visioning plan in increasing new retail or commercial footage along Main Street.

Finance Department

Funding is not currently allocated within the 2010-2019 Capital Budget and Forecast or the existing base operating budget for the Heritage Block Adaptive Re-use. Given the limited financial resources available, funding will be subject to the prioritization of all capital and operating needs during the annual budget process. In order to fund the estimated \$4 to \$5 million capital cost for this initiative, the deferral of other high priority capital projects of an equivalent monetary amount will be required.

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Conclusions:


Based on Council approval of the current report, the moratorium will be maintained and staff will proceed to establish the working team and develop the Business Plan.

Following consultation with the stakeholders and the approval of the Business Plan, a budget submission for the 2011 budget will be prepared. On the basis of the approved Business Plan and budget a detailed design will be prepared including provisions for heritage preservation.


Staff will continue to update Council on the progress of the project periodically.

Original Signed By

Original Signed By



Jaime Lowery
Commissioner, Community Services



John B. Corbett, MCIP, RPP
Commissioner, Planning, Design &
Development Department

Appendices:

Appendix 'A': ERA Cultural Heritage Assessment Study

Appendix 'B': Adaptive Reuse Concept Plan

Appendix 'C': Council Resolution CW090-2005

Report authored by:

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70-86 Main Street North
HERITAGE BACKGROUND ASSESSMENT
MAY 2009



HERITAGE THEATRE BLOCK

PREPARED FOR:

City of Brampton
Urban Design and Public Buildings
2 Wellington Street West
Brampton ON L6Y 4R2

PREPARED BY:

E.R.A. Architects Inc.
10 St. Mary Street, Suite 801
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05-028-2/JG/CL/PE/MM



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1.0 EXECUTIVE SUMMARY

E.R.A. Architects has been retained by the City of Brampton for professional services under a two-part development strategy for the Heritage Theatre Block containing 70-82 Main Street North.

Phase One provided heritage architectural services to deal with the exterior improvement and repair of the four existing buildings and was completed in 2006.

Phase Two findings are included in this report to provide the City of Brampton with the tools needed to evaluate future site proposals from a heritage perspective.

The purpose of this report provides heritage planning guidance and considers a long-term strategy for the site and existing buildings considering:

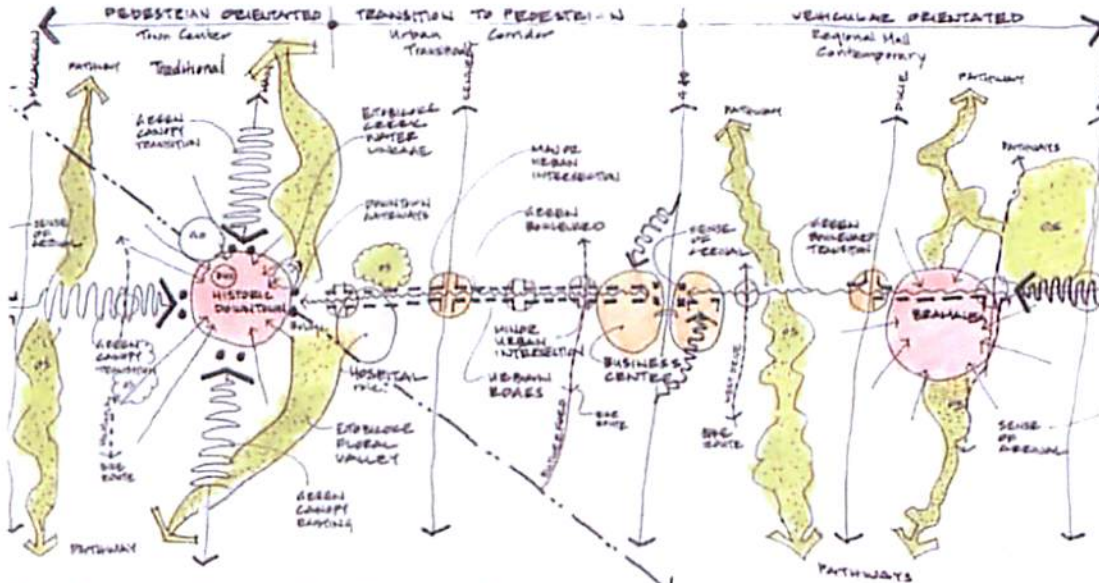
- 1) the cultural heritage value of the site;
- 2) the general condition of the buildings;
- 3) suitable cultural objectives; and
- 4) potential development approaches.

This report follows E.R.A.'s presentation of *"The Heritage Block: A Cultural Development Approach"* to the City of Brampton on October 31st, 2008.



(Source: E.R.A. Architects Inc.)

2.0 INTRODUCTION



(Source: Brampton - Downtown Urban Design Vision Study, 2005.)

Following *A Vision for Downtown Brampton*, prepared by the City of Brampton in 2005, the Heritage Theatre Block was included in a “special character area” within the Four Corners of the Downtown Precinct:

Four Corners Study Area will continue to be the physical centre of Brampton, location of main civic and cultural facilities, will preserve and enhance the existing heritage in compatible, pedestrian-scale development with strong urban character. (p.13)

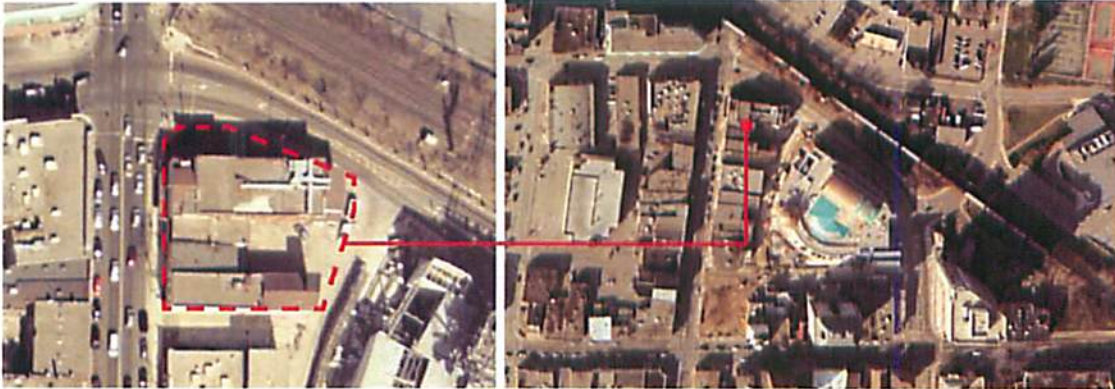
The recent construction of the adjacent Rose Theatre facility and new public spaces, such as Theatre Lane and Garden Square, provides a suitable setting to reconsider the role of the Heritage Block and outline appropriate design principles to inform its renewed identity.

The future development of the Heritage Theatre Block will consider the following inherent culture values of the site and immediate context along Main Street: the existing buildings; the streetscape; and the use of the Heritage Theatre Block.

2.1 PROPERTY LOCATION AND GENERAL DESCRIPTION

The four properties that make up the Heritage Theatre Block are located in downtown Brampton, just north of the historic Four Corners intersection (Main and Queen Streets). The site contains a three-storey theatre building with a 714-seat capacity and three two-storey commercial properties. The four buildings are immediately adjacent to one another forming a continuous streetwall, but do not share party walls.

The property's principal frontage is on the east side of Main Street North and is bounded along its north edge by the newly-created Market Square Boulevard. The south edge is bordered by Vivian Lane, a generous pedestrian thoroughfare. Theatre Lane, a vehicular service route, is located behind the eastern edge of the property and primarily serves the City's new Performing Arts Centre, which is located slightly southeast of the Heritage Theatre Block.



(Source: Google Earth, 2008)

2.2 PRESENT OWNER CONTACT

City of Brampton, Urban Design and Public Buildings
2 Wellington Street West
Brampton ON L6Y 4R2
T: 905.874.3453

2.3 EXISTING HERITAGE RECOGNITION

The City of Brampton has two separate registries that provide information on the City's heritage resources:

2.3.1 City of Brampton's Register of Designated Heritage Properties

The Register of Designated Heritage Properties is a listing of the properties that are individually designated under Part IV of the Ontario Heritage Act, or are located within a Heritage Conservation District designated under Part V.

This Register also includes the properties that are confirmed for listing, but have not yet received a designation by-law.

70 Main Street North (Beaux Arts Gallery): Has been confirmed for listing and heritage designation is pending for this property under Part IV of the Ontario Heritage Act.

76 Main Street North (Brampton Theatre School): No recognition exists for this property.

80 Main Street North (Heritage Theatre Annex): No recognition exists for this property.

82 Main Street North (Heritage Theatre): No recognition exists for this property.

2.3.2 Municipal Register of Cultural Heritage Resources

The Municipal Register of Cultural Heritage Resources is designed to assist in prioritizing petitions for municipal designation and uses the following rating system to determine significance:

Class A (70+ points) Most Significant: Municipal designation under the Ontario Heritage Act will be pursued.

Class B (40-69 points) Significant: worthy of preservation, municipal designation under the Ontario Heritage Act will always be considered.

Class C (0-39 points) Contributing: Contributes to an area, streetscape or neighbourhood; some noteworthy heritage attributes are present; designation

may be considered but on a case-by-case basis only. Class C properties are not listed on this register.

70 Main Street North (Beaux Arts Gallery): Listed as a “Class B” property.

76 Main Street North (Brampton Theatre School): No recognition exists for this property.

80 Main Street North (Heritage Theatre Annex): No recognition exists for this property.

82 Main Street North (Heritage Theatre): Listed as a “Class B” property.

2.4 ADJACENT HERITAGE PROPERTIES

In reference to the Province of Ontario’s 2005 Provincial Policy Statement, this document addresses Section 2.6 on Cultural Heritage and Archaeology, specifically item 2.6.3:

Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

There are no adjacent heritage properties.

3.2 CULTURAL VALUE

The inherent culture values of the site and immediate context along Main Street include the existing buildings, the streetscape, and the use of the Heritage Theatre Block.

3.2.1 Existing Buildings

The importance of the existing buildings is understood within the community. The Heritage Theatre is not a designated building but has been identified as a Class B historic property by the City of Brampton.

The Heritage Theatre (formerly the Capitol Theatre), built in 1922 by Toronto architects Duerr and Hall, was significantly modified over the years. Its physical heritage attributes include:

- the scale, form and setbacks of the principal elevation on Main Street;
- 2 1/2 storey peaked gable roof with ornamental wooden brackets;
- setbacks indicating former terraces and balcony seating;
- solid brick construction covered with stucco;
- oval shape window centred on the gable roof; and
- centred ground floor entrance with large flanking display windows.

The Robson Block has also been significantly modified over the years. Its physical heritage attributes include:

- the scale, form and setbacks of 2 principal elevations on Main Street and Vivian Lane (formerly California Street);
- 2 storey flat roof commercial form building with inset Robson Block stone; and
- solid brick construction covered with stucco.

The objectives for the existing buildings in regard to future consideration of the Heritage Theatre Block include:

- Consider the physical qualities and form of the Heritage Theatre as it contributes to the historic street wall including specific features such as the peaked roof, solid brick construction and ornamental wooden brackets;
- Opportunities for the restoration of original features to Heritage Theatre, such as the exterior marquee, box office, lobby and exterior terraces;
- Consider the Robson Block (at 70 Main Street North) as a characteristic commercial form along Main Street; and
- New built form should support and strengthen the character of the downtown core as a creative centre. Provide new varied residential forms balanced with traditional forms and details.

3.2.2 Streetscape

The existing character of the streetscape along Main and Queen Street is important because it is typical of small town Ontario from the turn of the century. This character is defined by:

- 2 to 3 storey, fine grained street wall;
- ground floor retail with large display windows with office or residential space above with separate entry door;
- masonry or stone upper floors with window openings;
- building fronts strongly relate to the roadway and contribute to a tight and linear streetscape with a pedestrian scale;
- varying lot widths; and
- varied signage and awnings.



(Source: E.R.A. Architects Inc.)

The objectives for the streetscape in the future consideration of the Heritage Theatre Block include:

- Promote quality streetscapes as part of its strong character;
- The built heritage elements of the Heritage Theatre Block can be integrated within a new mixed use development; and
- Ensure the proportions and visual impact of its street wall along its Main Street and network of public routes exhibit a pedestrian quality within the Heritage Theatre Block.

3.2.3 Use of the Heritage Theatre Block

The role of the Heritage Theatre Block currently lacks clarity. Its contribution within the Four Corners of the downtown precinct struggles for identity.

The construction of the Rose Theatre has replaced the Heritage Theatre as a performance destination and provides a variety of rehearsal and performance spaces. As a result, the Heritage Theatre and Robson Block buildings have been home to local artists groups as galleries and multi-functional space.

The current user groups, Beaux-Arts and Brampton Arts Council, require supportive facilities and connections within the community.



(Source: Live Search Maps, 2008.)

Objectives for the use of the site in the future consideration of the Heritage Block include:

- Provide vibrant retail/commercial and varied residential forms which support cultural and entertainment facilities with a variety of 24/7 experiences; and
- Create places of cultural production that strengthen connections to adjacent cultural institutions and support local arts groups as incubators cultural facilities.

4.0 RESEARCH AND ANALYSIS

4.1 CONTEXT

4.1.1 Brampton & the Four Corners

Brampton was settled on land negotiated as part of the Second Mississauga Treaty in 1818. According to an 1819 survey of the 648,000 acres of the treaty lands included the Townships of Toronto (now Mississauga), Erin, Albion, Caledon, Chinguacousy and the Toronto Gore. Located in the densely treed center of the Township of Chinguacousy, Brampton was one of the last areas of the 1819 survey area to be settled.

Similar to other rural Ontario settlements, the hamlet of the town was established at the junction of two township roads, Queen and Main streets. It was at this intersection that William Buffy opened a tavern and inn on the northeast corner in 1834. The town grew around this junction of Queen and Main, which came to be called the Four Corners. The Four Corners became the centre of commercial activity in Brampton and was defined by the presence of four major banks, located on each corner.

Much of the town's new residents settled adjacent to the Four Corners in single detached homes within walking distance of the local banks, grocers, pharmacists and trades people, and by 1910 the population reached 4,000.

Today the Four Corners is an intersection of regional highways, rail lines, infrastructure, and communities. It is important piece in the history the greater City of Brampton and provides a significant opportunity to focus new development.

4.1.2 Rail Lines

The arrival of the railway played an important role in the development of the downtown core, leading to significant industrial development in Brampton. The first line of the Grand Trunk Railway was built in 1856 and followed by the Credit Valley Railway to the west of the Four Corners in 1871. During the 20th century new industries arrived in the town, primarily along these rail lines. This new industries included shoe and binder factories. The Grand Trunk line is located to the north of the Capitol Theatre site and passes over Main Street. The track is currently in use as a VIA Rail and a GO Transit route, who's station is located within walking distance of the Capitol Theatre.

4.1.3 Etobicoke Creek

Originally, the Etobicoke Creek ran behind and under the commercial buildings along

Main and Queen Streets. The development of the Four Corners continued with little concern for the creek, despite its annual flooding. In 1948, Brampton experienced the worst flood in its history, which was the catalyst for a major engineering project to straighten and reroute the creek around the Four Corners to the east and away from the downtown.

The creek initially ran along the west side of Main Street North, passed underground just before the Capitol Theatre site and re-emerged behind the buildings on Queen Street. After the creek was rerouted, the empty creek beds were typically converted into service routes and the inner portion of the block was given over to vehicle parking. The main entrance to the Rose Theatre served by the new Theatre Lane follows the historic path of the Etobicoke Creek.



(Goads Atlas, 1940.
Source: Toronto Reference Library)



(Fire Insurance Map, 1971.
Source: Toronto Reference Library)

4.1.4 Four Corners

The Four Corners at Queen and Main Streets is the physical and historical centre of the City of Brampton. This crossroads exhibits a “main street” character typical of small town Ontario. The commercial blocks east and west of Main Street and north and south of Queen Street generally maintain the pedestrian scale and orientation of the turn of the century historic streetscape.

This character is defined by 2 to 3 storey, fine grained, street walls featuring ground floor retail with large display windows and office or residential space above. The building elevations strongly relate and contribute to a tight and linear streetscape. Like other small Ontario town centres, the main streets are adjacent to tree-lined single-family homes.

Many of the existing commercial buildings at the Four Corners appear to have been erected in the 1940s or later. More recent office, condominium, and infill developments from the past 3 decades represent a different type of development at the Four Corners with larger building footprints and greater density. That said, in most cases these newer buildings have maintained an appropriate relationship to Main and Queen streets with ground floor retail, animated front entrances and the use of setbacks at the upper storeys.

The Rose Theatre, located behind the Capitol Theatre, is in keeping with the most recent wave of development in the Four Corners downtown core where office and condominium buildings with larger footprints and greater densities have been constructed since the 1990s. At the same time, however, it represents a significant departure from the linear street pattern and main street hierarchy the village developed around.

Currently, the space on the northeast corner of the Four Corners intersection is open; creating a diagonal pedestrian route that visually and physically links the new Rose Theatre complex with the Four Corners. The success of the new spaces the theatre has created will depend on its continued relationship with Main and Queen streets and the ability of the traditional building forms to relate to it.

2.1.5 Evolution of Urban Form

The rerouting of the Etobicoke Creek came at a time when the form of urban development was changing throughout the province. The urban growth of Toronto and popularity of the automobile culture was altering the landscape of development in Brampton. Commuting to work was gaining popularity and Bramalea, “Canada’s first satellite city”, was developed just east of the Four Corners. As a result, the urban form

of tight, fine-grained main streets was replaced with suburban form thoroughfares, plazas and car oriented residential communities.

Until the 1980s the largest buildings at the Four Corners were church steeples and civic clock towers. In the 1980s and 1990s large-scale office and condominium developments were built. These buildings had much larger footprints and heights, and represent a shift in municipal planning priorities toward the intersection as an employment and civic centre, and more recently a mixed-use urban node. The office and residential development have introduced a different scale to the downtown but have, for the most part, continued to respect the established street grid and relationship to the street.

Today the Rose Theatre is the largest building at the Four Corners. As such it represents the City interest in making the Four Corners a cultural destination for not just the local community but region wide, however; as with the other changes in form, an effort should be made to ground this new intervention into the existing context of the city centre.

4.1.6 Open Space



(Source: E.R.A. Architects Inc.)

The evolving urban form of the Four Corners has resulted in a variety of open spaces that can be understood as green spaces, civic spaces, public routes, and residual lands. These spaces include Gage Park, parkettes, church setbacks, Ken Whillan Square, Rose Theatre Square, and various pedestrian pathways and laneways.

The quality and variety of the City's open spaces is also documented in a 2005 Urban Design study entitled, *A Vision for Downtown Brampton*. This study was prepared by the City of Brampton and recommends "a complex network of public spaces" that complement the character of the street and the existing built form.

4.2 Historical Occupancy (Capitol Theatre, 82 Main Street)



Exterior c.1940

The Capitol Theatre was built in 1922 and opened on February 28th, 1923. The theatre was used for the presentation of vaudeville acts and silent films. The opening of a commercial theatre in the heart of downtown Brampton was a major event that marked Brampton's growth as a residential community. In the 1920s, this two-storey building was considered to be a large theatre of a size that was typically not found outside the major cities. The vaudeville and silent film era came to an end in Brampton when the Odeon Corporation purchased the theatre in 1946. The original orchestra pit was removed and new technical upgrades were made for the projection of "talking films". The theatre was purchased by the City of Brampton in 1981 from the Odeon Corporation.

It opened as the Capitol Theatre in 1988 and was used as a venue for small cultural productions and events. These included the Brampton Symphony Orchestra (for 14 years, starting in 1989) and the Brampton Indie Arts Festival (for 5 years, starting in 2000). The theatre has been unoccupied since 2005.

The property is located on a former flood plain. The Etobicoke Creek originally ran nearby under Main Street and opened onto Hanna Street (now Theatre Lane). The Capitol Theatre and Robson Block survived several of these floods, including the historic flood of 1948.



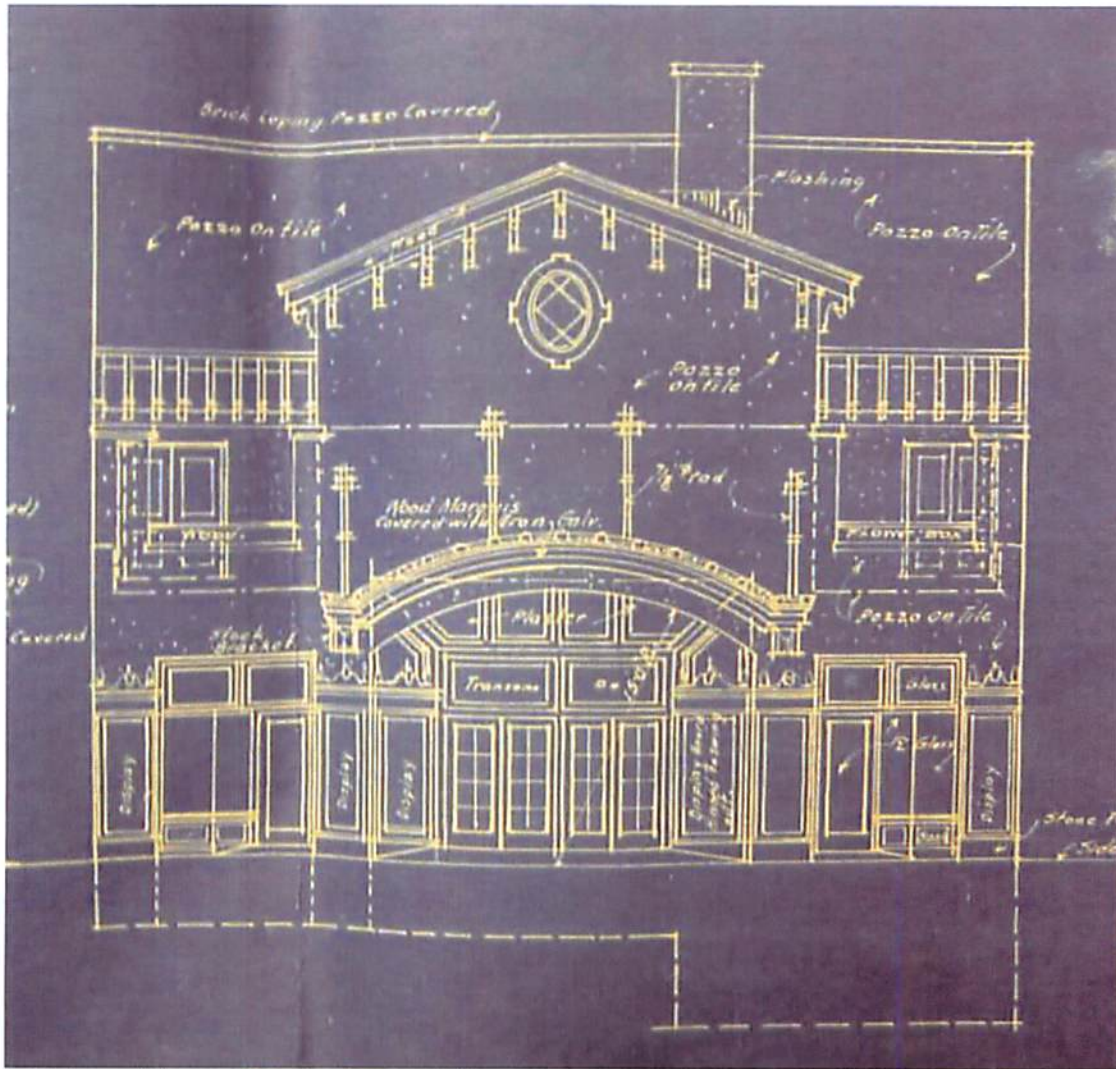
Exterior c.1950



1953 show ad

4.3 Architectural Description

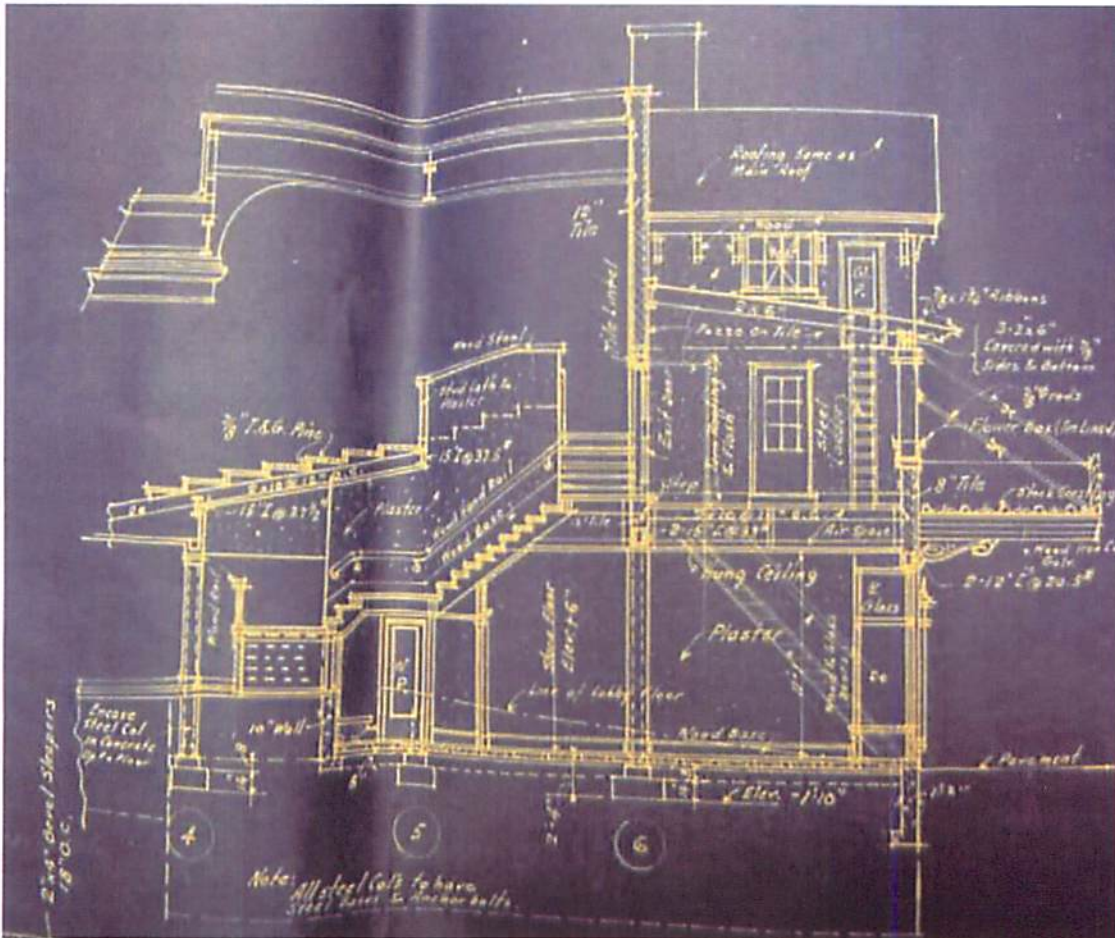
The Capitol Theatre is of solid brick construction with stucco on the front and rear elevations. The front elevation features a pitched roof with a series of ornamented wooden brackets that run under the eaves. The main roof over the auditorium is flat and steps down to two storeys on both sides of the pitched section. The massing harmonizes the large auditorium volume at the rear with the adjacent two storey buildings and the overall character of Main Street.



Original 1922 Main Street Elevation (Source: Archives of Ontario, RG 56-10, Container 59)

The original design of the Capitol Theatre was sympathetic to the Main Street context in which it was built. The ground level along the street edge consisted of the theatre's main entrance flanked by two retail spaces, effectively breaking up the wider building frontage into three distinct spaces that related well to the fine-grained character of the adjacent commercial buildings. This feature survived the 1947 renovation, but was not restored by the city during the 1980s restoration work.

Another notable aspect of the original design is the quality of public access and the public presence that it fostered. Originally, the lobby space of the Capitol Theatre sloped down from foyer to street level. This provided a larger pre-theatre social space than the distinct foyer and entrance landings created in 1947. Additionally, there were previously two outdoor terraces located on the second level, where the expanded washroom and changing facilities were located in 1947. These terraces were accessed from the interior balcony level and contributed a semi-public social presence above the Main Street.



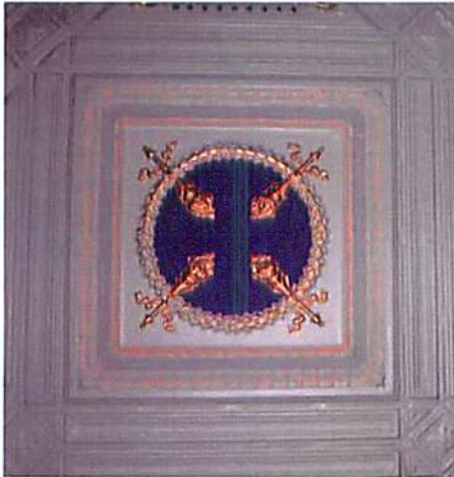
Section showing original 1922 lobby, balcony seating and exterior terrace
 (Source: Archives of Ontario, RG 56-10, Container 59)

The quality of these social spaces and the building's relationship to the street is tied to the original vision for the Capitol Theatre. It was a small venue space designed around a specific type of performance that required little equipment and could provide relatively generous transition spaces. The original design used the front of house space as a layered buffer between the theatre and the street creating the perception of the theatre as a semi-public amenity. This tactic is employed on a much larger scale with the new Rose Theatre complex positioned Main and Queen Streets, buffered by the low-rise built fabric and adjacent pedestrian thoroughfares.

It is the last theatre of its kind in Brampton and is a good example of the work of Duerr and Hall, a Toronto firm known for their theatre designs. Other projects by the firm include:

- Hollywood Theatre, 1517 Yonge Street, Toronto ON (1930, demolished 2000)
- Tivoli Theatre, 108 James Street North, Hamilton ON (1908, designated 1999, collapsed/demolished 2004)
- Palace Theatre, 710 Dundas Street, London ON (1929, designated c. 2000)
- Vogue Theatre, 392 Charlotte Street, Sydney, NS (1939, demolished 2008)

Inside the theatre, there is a decorative pressed tin frieze and ceiling in the Liberty Torch pattern.



(Source: E.R.A. Architects)

The layout and built form of the theatre has been significantly altered over the past several decades. Some of the major changes have been identified and tracked with reference to architectural drawings dating from the year of construction (1922, with annotations made in 1940) and the renovation completed by the Odeon Corporation (1947). The information shown in these drawings is supported further by photographic evidence.

The changes to the layout and spatial relationships of the interior of the theatre were a result of efforts to re-use the existing building for modern types of entertainment. These retrofits (as subtle as they may seem) called for expanded back of house and support spaces that were previously not required in a simple theatre designed for vaudeville and silent films. The shift from small playhouse (Capitol Theatre) to commercial movie theatre in 1947 (Odeon Theatre) to performance venue in the 1980s (Capitol Theatre) focused on the potential of the theatre space itself at the expense of the unique street edge condition that was fostered by the original layout and elevation.

5.0 ASSESSMENT OF EXISTING CONDITION

5.1 82 Main Street - Heritage (Capitol) Theatre

The following condition assessment is based on visual inspections of the exterior and interior of the Heritage (Capitol) Theatre, 82 Main Street in February 2009. This section describes various upgrades and exterior envelope review.



(Source: E.R.A. Architects Inc.)

The exterior envelope and masonry is generally in good condition and shows evidence of continued maintenance. The three-storey solid brick building tinted stucco applied to the west elevation is in keeping with the building's historic appearance.

Traces of the building's unique historical features remain including: the pitched roof form, wooden brackets and oval medallion. The openings along the ground floor are similar to the theatre's original appearance.

Various upgrades include:

- New wood screen and guard rail was added to the rear of the building in 2005 as part of the Phase One exterior improvement scheme;
- A two-storey rear addition constructed of brick piers and clay tile units shortly following its original construction in 1922; and
- Brick infill on the north elevation show traces of the original exterior terraces enclosed in 1947 to provide additional washroom space on the second level.

Exterior Envelope Review



Fig 4.1.1 West elevation



Fig 4.1.2 View of signage on west elevation

Brick walls, chimney and terracotta elements:

- Limited areas of open mortar joints;
- Minimal signs of masonry deterioration (spalling and cracking of bricks); and
- Minor efflorescence caused by de-icing salts at the south east corner of the building.

West Elevation Stucco:

- Minor cracks and paint flaking.

Wood doors and windows:

- Some broken panes of glass on north elevation of gable;
- Flaking and missing paint; and
- Failure of putty, sealants and weather stripping.

Roof:

- The bitument flat roof shows signs of fatigue and will require replacement within the next two years; and
- Asphalt shingles on gable in poor condition.

Flashing and rainwater disposal:

- Parapet flashing in fair condition; and
- Gable flashing and eaves in fair condition.



Fig 4.1.4 West elevation showing 1947 modification



Fig 4.1.6 East elevation showing early rear addition and 2005 exterior improvements.



Fig 4.1.3 North elevation



Fig 4.1.7 Stairs down to dressing room basement



Fig 4.1.8 View of pitched roof on west elevation



Fig 4.1.9 Roof looking east



Fig 4.1.10 Roof showing step down from balcony level to main assembly area



Fig 4.1.12 Original theatre basement



Fig 4.1.13 Original theatre basement

5.2 80 Main Street North (Heritage Theatre Annex)

The following condition assessment is based on visual inspections of the exterior and interior of the 80 Main Street in February 2009. This section describes an exterior envelope review.

The exterior envelope and masonry is generally in good condition, however; we did not have access to the narrow space between the two buildings and could not determine the condition of this area.

The building at 80 Main Street North is constructed from concrete block and has been faced with a cast stone veneer on the west elevation. The large second floor windows may have replaced a series of smaller sash windows that would have been typical for buildings of this age. There is no basement space below this property.

Building Envelope Review

Brick walls, chimney and terracotta elements:

- Minor spalling and cracking of bricks.

West Elevation Stone Veneer:

- No signs of cracks or deterioration.

Wood doors and windows:

- Missing window pane on east elevation.

Roof:

- The bitumen flat roof in fair condition.

Flashing and rainwater disposal:

- Parapet flashing and eavestrough in fair condition.



5.3 76 Main Street North (Brampton Theatre School)

The following condition assessment is based on visual inspections of the exterior and interior of the 76 Main Street in February 2009. This section describes an exterior envelope review.

The exterior envelope and masonry is generally in good condition, however; we did not have access to the narrow space between the two buildings and could not determine the condition of this area.

76 Main Street North is of brick construction and has been faced with wood, stucco and brick veneer on the west elevation. The foundation and floor joists remain in good condition in the basement.

Building Envelope Review

Brick walls, chimney and terracotta elements:

- Limited areas of open mortar joints on north elevation of 76 Main St around chimney just below the parapet; and
- Minor spalling and cracking of bricks.

West Elevation Stone Veneer:

- No signs of cracks or deterioration.

Wood doors and windows:

- Missing window pane on east elevation.

Roof:

- Single ply membrane flat roof in fair condition.

Flashing and rainwater disposal:

- Parapet flashing and eavestrough in fair condition.



5.4 70 Main Street North (Beaux Arts Gallery)

The following condition assessment is based on visual inspections of the exterior and interior of the 70 Main Street in February 2009. This section describes an exterior envelope review.

The exterior envelope and foundation is generally in good condition.



The two-storey brick building is faced with stucco on the west, south and east faces. A commercial unit at grade and a separate residential/office unit above. The entrances to both units are located on the building west elevation.

Formerly known as the Robson Block, 70 Main Street North was constructed in sections in the 1920s. The pitched roof section at the rear was built first, followed by the flat roofed portion in front along Main Street. A stone unit with "Robson Block" still remains. Also, sections of faceted precast concrete units to mimic the appearance of stone still remain in the basement. These units would have been available through mail-order catalogue companies, such as the Sears Roebuck Co. and were common throughout the late 1800s and early 1920s.

Various upgrades include:

- Replaced sash windows on second floor window (though stone sills appear original);
- Ground level windows along Vivian Lane have been enlarged and are missing the sills; and
- Partially finished to provide storage space for artwork and supplies.

Building Envelope Review

Brick walls, chimney and terracotta elements:

- Limited areas of open mortar joints on north elevation at grade;
- Minor spalling and cracking of bricks; and
- Some moisture penetration in the basement with isolated wetting.

Stucco South Elevation:

- No signs of cracks or deterioration.

Wood doors and windows:

- Windows and doors in fair condition.

Roof:

- The bitumen flat roof in fair condition.

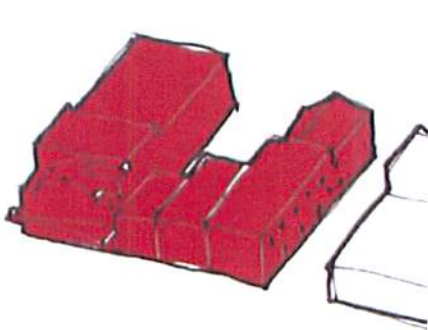
Flashing and rainwater disposal:

- Parapet flashing and eavestrough in fair condition.

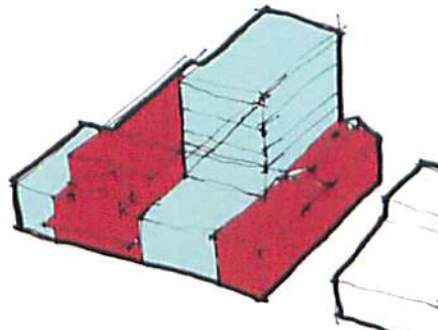


3.3 DEVELOPMENT APPROACH

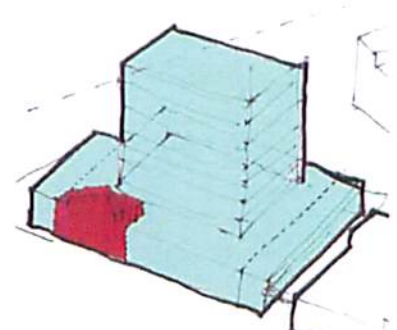
A number of development approaches for the Heritage Block can be considered and have various levels of impacts to the existing cultural value, form and use. This section provides three design approaches: adaptive reuse, infill/partial retention, and new build to anticipate a series design objectives to evaluate future proposals.



(Source: ERA Architects Inc)



(Source: ERA Architects Inc)



(Source: ERA Architects Inc)

ADAPTIVE REUSE

- retain the current streetscape;
- maintain existing buildings;
- continue to operate current retail/community uses; and
- operate under City or sold to private group.

Concerns:

- continued maintenance cost of existing buildings;
- pedestrian realm remains disengaged; and
- current retail uses struggle to support local cultural facilities within a Vision for Downtown Brampton.

SELECTIVE INFILL

- adaptive reuse of the Heritage Theatre and Robson Block;
- demolish existing buildings and infill at 76 and 80 Main Street;
- infill at north of Heritage Theatre at the corner of Market Road; and
- privately owned and operated.

Concerns:

- ensure proposal retains components of original streetscape;
- new infill would need to be appropriate form; and
- ensure specific cultural uses.

NEW BUILD

- 90% demolition of buildings;
- retain lobby of Heritage Theatre;
- new mixed use development as cultural incubator to accommodate local arts groups, worker housing, artist live/work, vibrant retail; and
- privately owned and operated.

Concerns:

- ensure new design respects a balanced set of design guidelines;
- ensure a mixed-use development to increase residential density, and contribute to healthy network of local amenities; and
- opportunity to support infrastructure improvements.

3.4.1 Envelope Objectives

Heritage design objectives for the *envelope* Heritage Block will:

- Respect the characteristic form of historic downtown by maintaining the typical two-storey street wall and rhythm described by:
 - varied lot widths;
 - maximum glazing on ground floor retail;
 - regular window openings within stone or brick faces on 2nd floor;
 - varied composition and materials; and
 - principle entrances along the main streets.



Typical buildings on Main Street (Source: E.R.A. Architects Inc.)

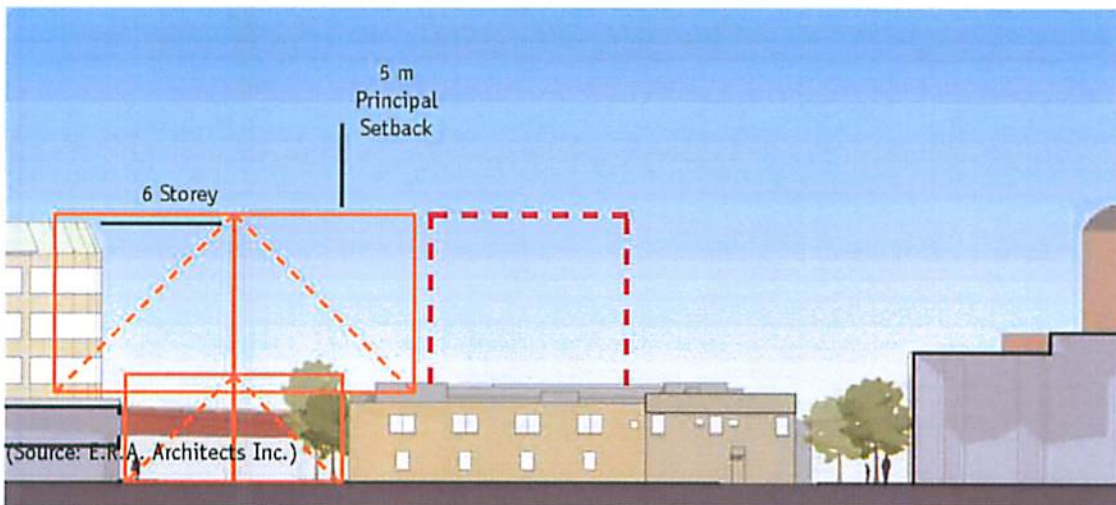
This could be achieved by retaining the existing form or a new built podium.

- Consider extending built north of the theatre while respecting the neighboring 2-storey character of Main Street. Until recent years, buildings along Main Street had extended to the railway tracks. This represents an opportunity for a prominent architectural feature to define the corner of Main Street and Market Square Blvd.
- The width of Vivian Lane could be encroached upon to provide a suitably proportioned pedestrian route. The width of the existing route reflects the previous vehicular road, formerly California Street. Typical mid-block pedestrian routes off Main Street and Queen Street are at least half the width.

3.4.2 Height and Setback Objectives

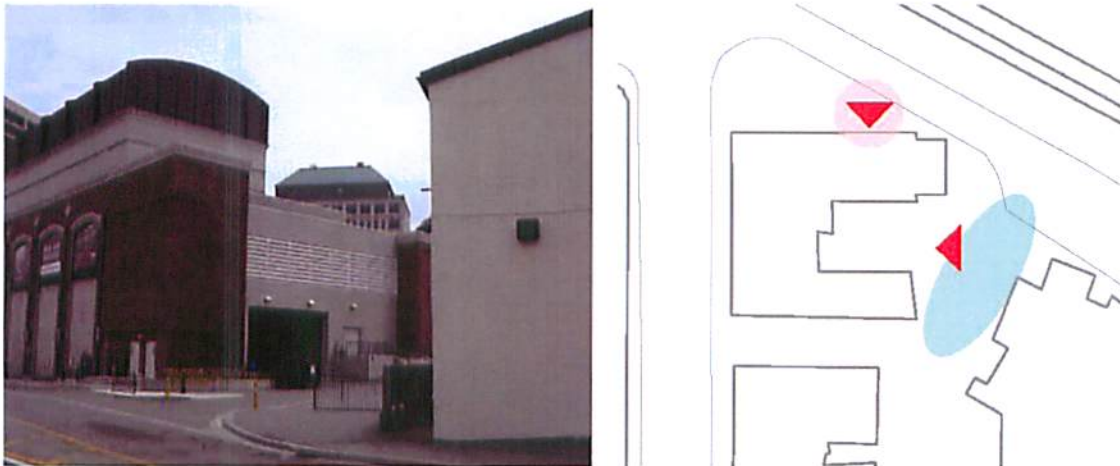
Heritage design objectives for the *height and setbacks* Heritage Block will:

- The existing two-storey height along the street wall of Main Street is characteristic of and reinforces the proportions of the early 20th century main street. This height should be maintained on all sides in development approaches that consider additions or replacement of existing buildings.
- Additional building mass should provide adequate setback from historic street wall to clearly distinguished from historic built form along Main Street. Examples of along Queen Street, the Queen Street Plaza provides a setback of five metres from the historic street wall. Additionally, comparable side and rear setbacks should be incorporated as well.
- A suitable mass for mid/high rise would demonstrate a balance the relationship to neighboring building heights, visual and shadow impact on the surrounding context.
- An appropriate height for a mid/high rise addition would consider neighboring buildings along Main Street and Queen Street which vary from six to nine stories, relationship to the Brampton Performing Arts Center and general mass with respect to setbacks, views, and massing.



3.4.3 Access, Loading and Parking Objectives

- Heritage design objectives for the *access, loading and parking* Heritage Block will:
- Ensure that Theatre Lane will continue to provide loading and servicing to the site between Market Square Boulevard and Vivian Lane. The north portion of this lane is primarily a shared service route for with Performing Arts Centre mainly used for garbage pick up.
- Provide adequate below grade parking to accommodate residential density with private entrance. Since this site is the lowest point in the area, flood plain protection and coordination with the TRCA, similar to the Performing Arts Center which provides three floors of below grade parking.
- Private vehicular access to an underground parking entrance could be limited to Hannah Lane or Market Square Boulevard to the north.



(Source: E.R.A. Architects Inc.)

3.4.4 Pedestrian Realm Objectives

Heritage design objectives for the *pedestrian realm* Heritage Block will:

- Maintain the characteristic pedestrian setting along Main Street by ensuring principal retail entrances is directly accessible from Main Street.



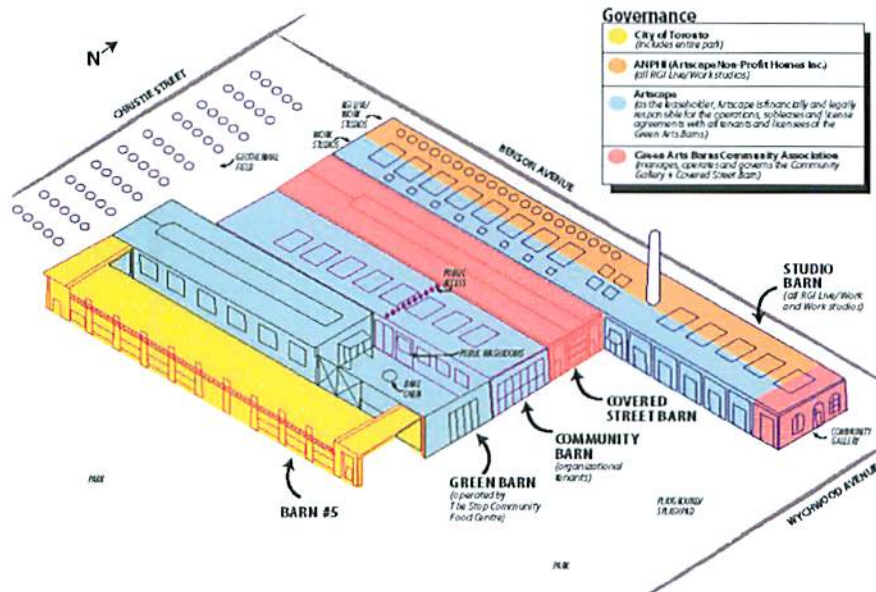
(Source: E.R.A. Architects Inc.)

- Enhance pedestrian scale mid-block connection along Vivian Lane, which connects Main Street to Hannah Lane. The current width of Vivian Lane relate to that of vehicular access as it had formerly provided vehicular access as California Street. The street has recently been relocated just south of the railway tracks to form Market Square Blvd. Primary entrances to mid-rise or high-rise development should private and accessible from Main Street and will match existing grades.

3.4.5 Future Use Objectives

Heritage design objectives for the *future use* of the Heritage Block will:

- Promote vibrant retail along Main Street and Vivian Lane to facilitate the production and support of culture within the area. Such uses would increase population to Main Street and promote commercial growth outside of 9 to 5 working hours.



- Conduct market research to determine key retail and commercial activity to complement “arts and leisure” quadrant as outlined in Brampton’s Urban Design Study. The City of Brampton should actively approach specific tenants they want. Compatible uses might include viable restaurants, coffee shops, galleries, or bookstores.
- Engage Artscape to provide cultural mapping based on focused community consultation to determine specific support for local artists (accommodations, studio/production space, flexible meeting spaces). Existing local artists groups, such as Living Arts Centre and Beaux Arts, continue to establish a presence in the community.
- Provide retail/commercial uses on ground and second floor and increase visibility with greater window area into public realm along Main Street and Vivian Lane. Increased frontage and glass is best marketing for tenants.
- Provide residential component to increase density to Main Street and provide key healthy mix of key worker housing, artist’s space and/or hotel accommodations.

5.0 CONCLUSION

The findings of this heritage assessment have determined that the Heritage Block possess cultural value for contextual and architectural reasons. In particular, the Heritage (Capitol) Theatre should be retained (in full or in part), specifically that which contributes to the streetscape of Main Street.

The physical condition of the four existing buildings within the Heritage Block does not warrant demolition. These properties that provide an understanding of the site and the character of downtown Brampton. With the exception of the Heritage (Capitol Theatre), these buildings do not merit specific heritage recognition.

The street wall character, relationship to public realm, and scale of these properties can inform future construction on the site.

The future conservation of the site in any future development proposal should be evaluated based on the criteria outlined in the potential cultural development approaches.

The next step in the heritage review process is for the City of Brampton to:

- 1) Engage Artscape to provide an inventory of the city's cultural resources determine the cultural character of Brampton;
- 2) Should a suitable tenant be identified, consider adaptive reuse of the Heritage (Capitol) Theatre;
- 3) Consider the private ownership of the Block with the condition that future design proposals acknowledge the cultural values and preliminary objectives outlined in this report;
- 4) The Heritage (Capitol) Theatre be designated; and
- 5) The documentation of the existing buildings including detailed plans, sections and elevations by a qualified heritage architect be completed before any proposed demolition be approved.

In addition, we recommend that the City of Brampton The City should also consider the opportunity for the creation of an urban agriculture space that would highlight Brampton's long history as a farming community.

APPENDIX 1 SOURCES

(City of Brampton, Planning Design and Development.) Brampton - Downtown Urban Design Vision Study. September 2005.

(City of Brampton.) Brampton Theatres, History of the Heritage Theatre.

'Capitol Theatre Opened to Public.' March 1, 1923. The Brampton Conservator.

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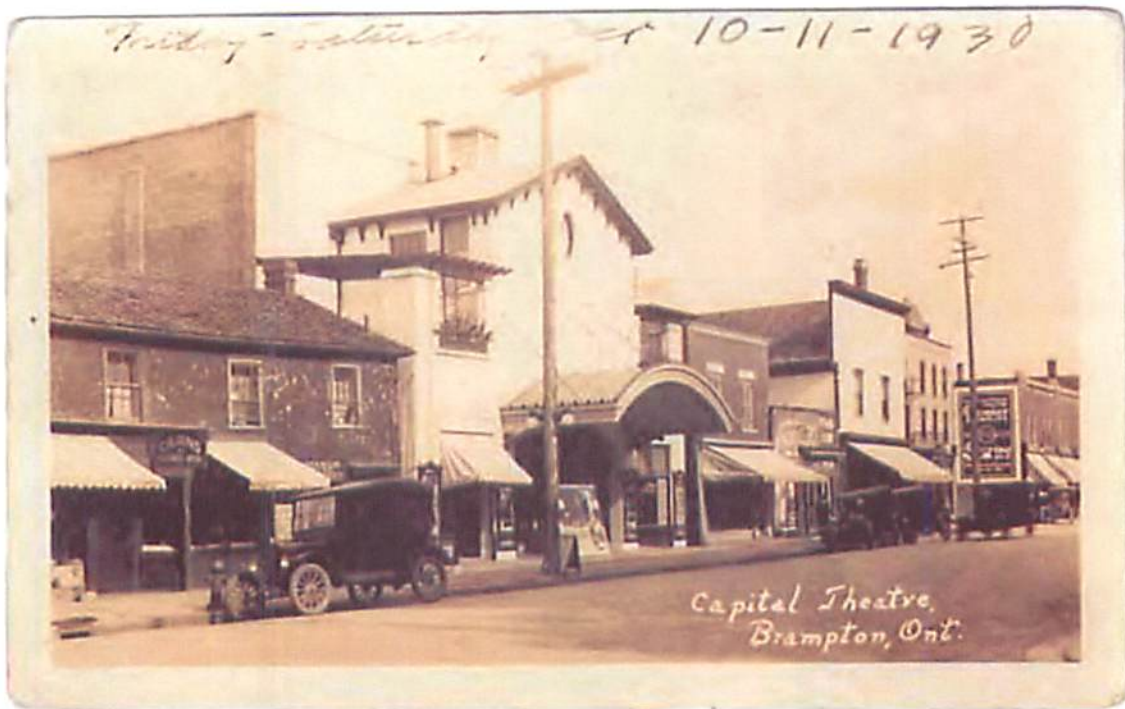
(City of Brampton.) Summary of Historical Associations for Purposes of Inventory Evaluation.

F7-45

Appendix 'B'
ADAPTIVE REUSE CONCEPT PLAN
PHASE 1 PRIORITY LEVELS

Drawings not to scale
100514

E.H.A.
Architects Ltd.



Appendix 'B' ADAPTIVE REUSE CONCEPT

Ground Level Final program space is subjected to Business Case Study recommendations

OBJECTIVE

The objective is to increase active pedestrian uses along Main Street North frontage through leaseable retail and active commercial uses and provide overflow event space resulting from the increase in demand for theatre events and program at Rose Theatre.

82 Main Street North - Heritage Theatre Improvement

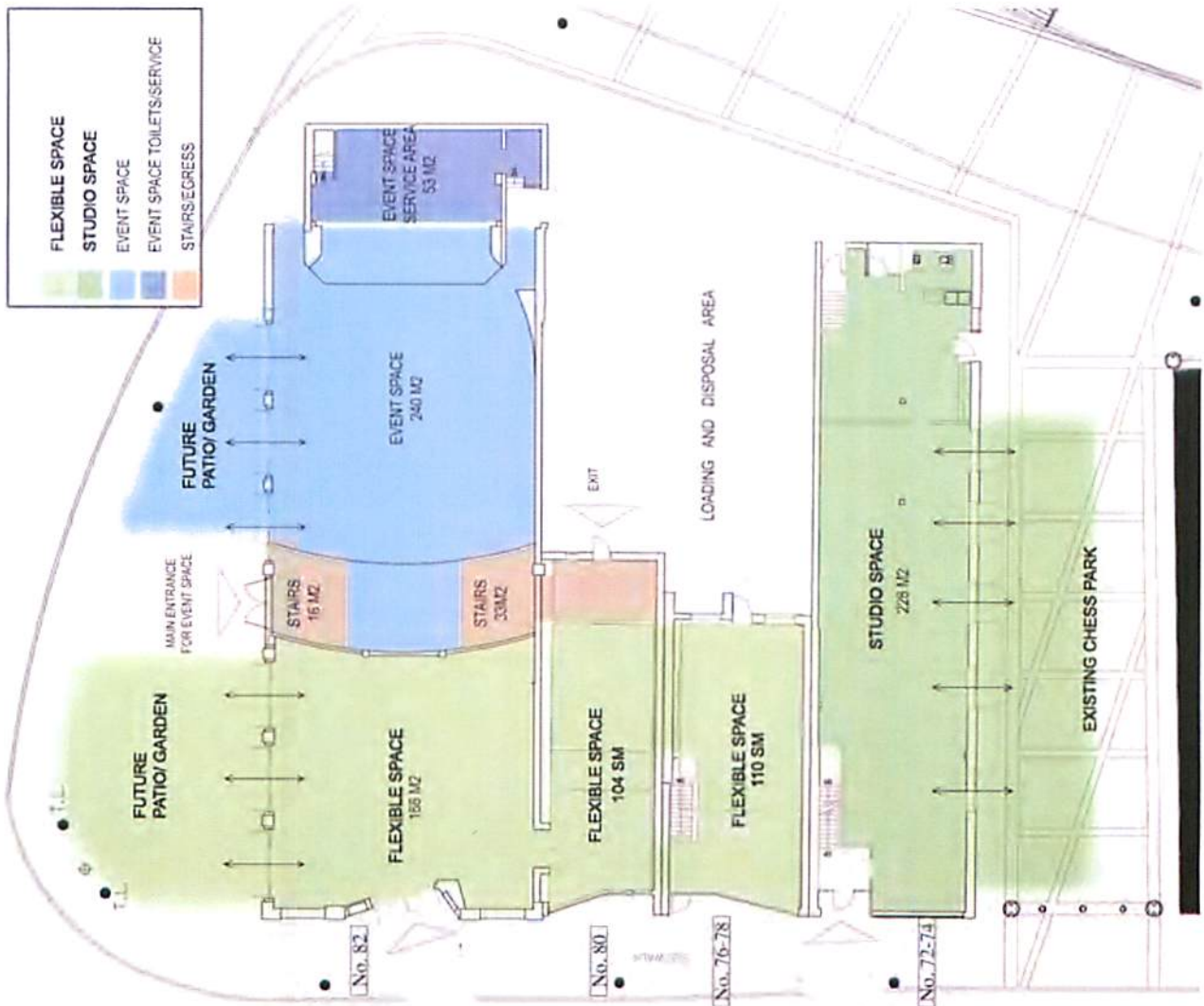
1. Restore the exterior facade and marquee of the Heritage theatre to its original design.
2. Retain historical lin ceiling and proscenium in the theatre
3. Level floor in theatre lobby and remove existing stairs.
4. Level the floor of the existing theatre seating area to create a multi purpose event space. The event space could possibly have a bar where beverages are serve for social function events. The event space could possibly be operated by the City and become a support space to the Rose Theatre.
5. Provide new entrances and glazed doors on the north wall of the theatre to patio/ garden area. It will also open up and enhance the visual impact of the blank facade and link the interior of the theatre to the street. The proposed outdoor patio can supplement additional dining capacity when required.

76, 78 and 80 Main Street North Improvement

1. Upgrade the entire block to accommodate accessibility, exiting and access requirement.
2. Provide support washroom and utility space where required.
3. Upgrade interior space to be ready for retail leasing.
4. Install/ repair washroom where required

72-74 Main Street North Improvement

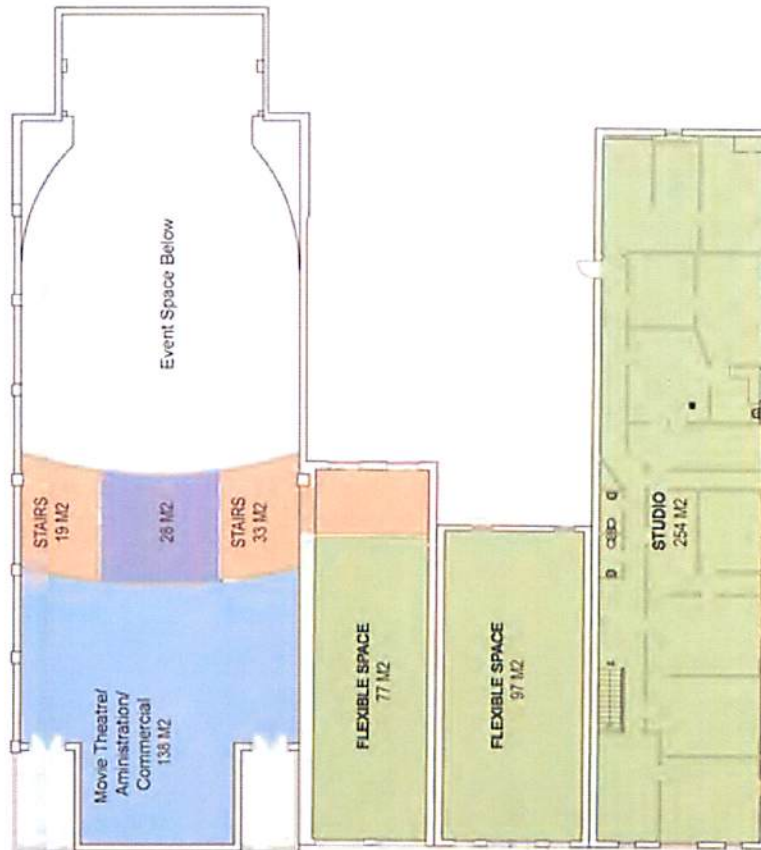
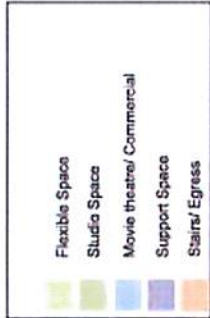
1. Could continue to support HACE initiated commercial/ retail/ art gallery type uses.
2. Upgrade to accommodate accessibility, exiting and access requirement.
3. Provide support washroom and utility space where required.
4. Upgrade interior space to be ready for retail leasing.
5. Install glass doors to link and connect facade adjacent to chess park and increase active frontage.



77-46

Appendix 'B' ADAPTIVE REUSE CONCEPT

Upper Level Final program space is subjected to Business Case Study recommendations



F7-47

HERITAGE THEATRE

Drawings not to scale
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OBJECTIVE

The objective is to provide commercial lease space, administrative support spaces, a small movie theatre and others HACE supportive commercial uses.

82 Main Street North - Heritage Theatre Improvement

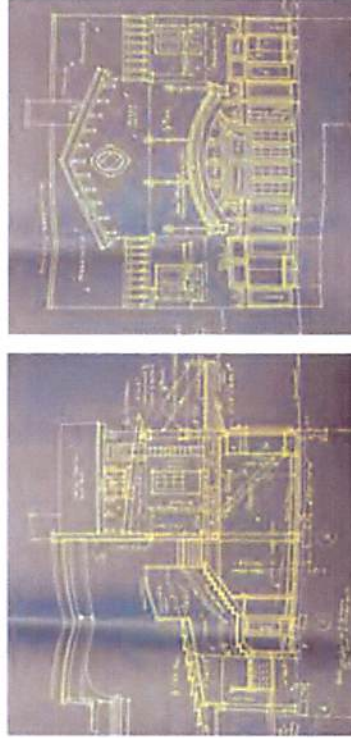
1. Turn upper floor into a movie theatre/ administrative/ commercial space. Provide new stairs in balcony area
2. Upgrade space for leasable commercial/ administrative space.

76, 78 and 80 Main Street North Improvement

1. Upgrade space for leasable commercial/ administrative space

72-74 Main Street North Improvement

1. Upgrade space for leasable commercial space



Objective

The objective is to increase active pedestrian traffic along Main Street North Frontage through leaseable retail and active commercial programmes in the existing buildings. Integrated in the Main street north buildings there should be a multi-purpose event space to cater to the increased demand for event spaces that is a result of the special events and regular program at The Rose Theatre.

I. Phase I Level I

1.1. Capitol Theatre Level I Basic Upgrades to Provide a Multipurpose space

- 1.1.1. Level Ground Floor, Auditorium and Lobby
 - 1.1.1.1. Remove existing concrete stairs at entrance
 - 1.1.1.2. Remove seating from theatre
 - 1.1.1.3. Remove raking from theatre and lobby and excavate to consistent floor level
 - 1.1.1.4. Provide new 4" concrete floor throughout
 - 1.1.1.5. Allow for structural repairs of existing columns
- 1.1.2. Existing Stairs to Accommodate Grade Change
 - 1.1.2.1. Make good the stairs to accommodate new floor level
 - 1.1.2.2. Maintain and make good the stairs to the basement beneath lobby

1.1.3. Update and Upgrade Interiors

- 1.1.3.1. An appropriate colour scheme to be determined
- 1.1.3.2. Provide for ceiling repair and maintenance
- 1.1.3.3. Provide for repainting of ceiling
- 1.1.3.4. Allow budget for new lighting

1.1.4. Restore Stage Area

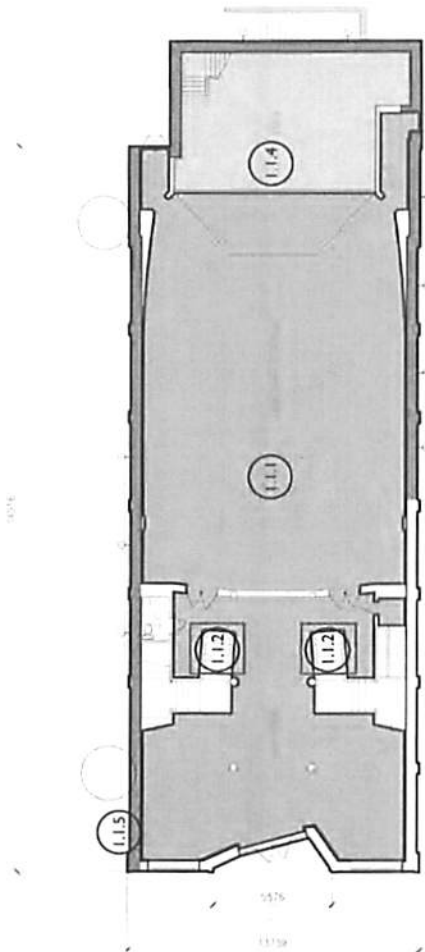
- 1.1.4.1. Restore stage to original size (remove projection)
- 1.1.4.2. Allow for making good proscenium arch
- 1.1.4.3. Allow for making good stage
- 1.1.4.4. Maintain and make good stairs to basement under the stage
- 1.1.4.5. Maintain and make good the basement beneath stage area

1.1.5. Repair North, South and East Facades

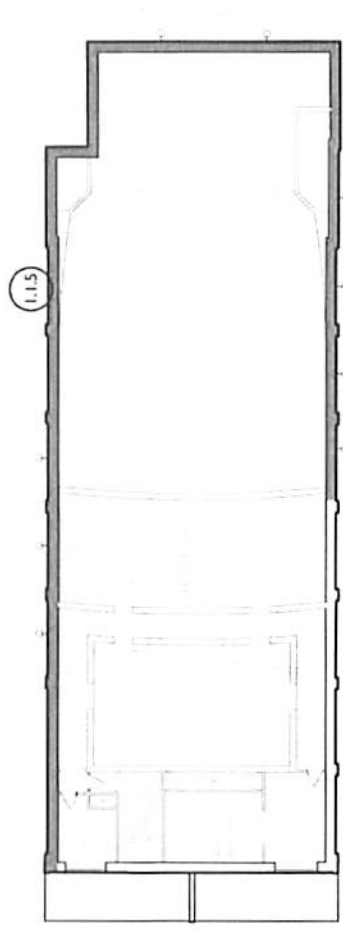
- 1.1.5.1. Allow for selective repair of masonry on north, south and east elevations

1.1.6. Repair Roof

- 1.1.6.1. Provide new roof membrane on flat roof
- 1.1.6.2. Provide new flashing on flat roof
- 1.1.6.3. Re-shingle gable roof and rear addition



Capitol Theatre Ground Floor

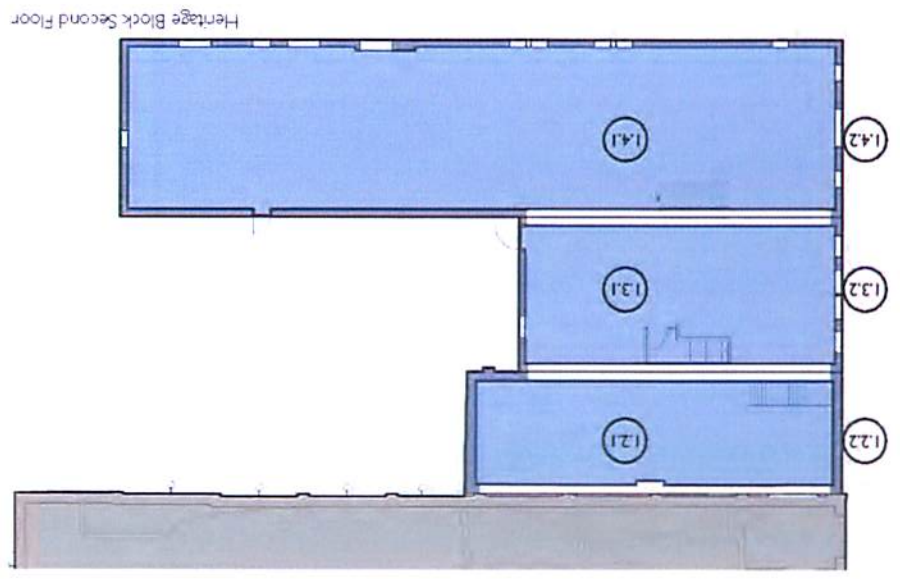
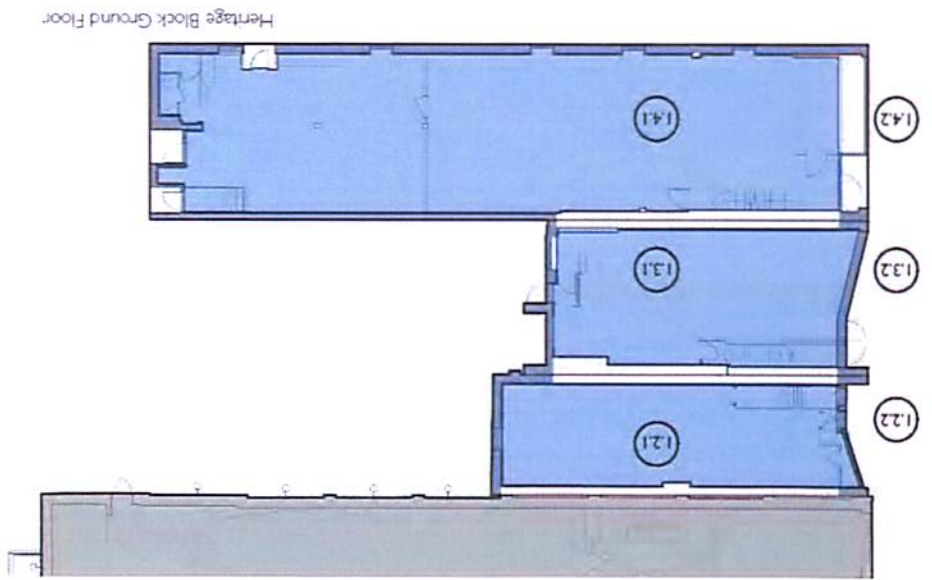


Capitol Theatre Second Floor

ADAPTIVE REUSE: HERITAGE BLOCK PHASE 1 LEVEL 1 **P7-49**

Drawings not to scale
100514

- 1.2 **80 Main Street North Level 1 General Building Upgrades**
 - 1.2.1 Interior Upgrades
 - 1.2.1.1 Remove existing partitions and toilets (where necessary)
 - 1.2.1.2 Make good interior (part according to decided colour scheme)
 - 1.2.1.3 Provide new flooring
 - 1.2.2 Exterior Upgrades
 - 1.2.2.1 Provide new roof membrane on flat roof
 - 1.2.2.2 Provide new flashing on flat roof
 - 1.2.2.3 Allow for new facade treatment
- 1.3 **76-78 Main Street North Level 1 General Building Upgrades**
 - 1.3.1 Interior Upgrades
 - 1.3.1.1 Where necessary remove existing partitions and toilets
 - 1.3.1.2 Upgrade to accommodate barrier-free access and egress
 - 1.3.1.3 Refit partitions (bid once a user group is established)
 - 1.3.1.4 Make good interior (part according to decided colour scheme)
 - 1.3.2 Exterior Upgrades
 - 1.3.2.1 Provide new roof membrane on flat roof
 - 1.3.2.2 Provide new flashing on flat roof
 - 1.3.2.3 Allow for new facade treatment
- 1.4 **Level 1 General Building Upgrades**
 - 1.4.1 Interior Upgrades
 - 1.4.1.1 Where necessary remove existing partitions and toilets
 - 1.4.1.2 Upgrade to accommodate barrier-free access and egress
 - 1.4.1.3 Refit partitions (bid once a user group is established)
 - 1.4.1.4 Make good interior (part according to decided colour scheme)
 - 1.4.2 Exterior Upgrades
 - 1.4.2.1 Provide new roof membrane on flat roof
 - 1.4.2.2 Provide new flashing on flat roof
 - 1.4.2.3 Allow for improvements to both Main Street and Chess Park facades



2. Phase 1 Level 2.

2.1. Capitol Theatre Level 2, Restoration and Upgrades (depends on the appropriation of No. 80)

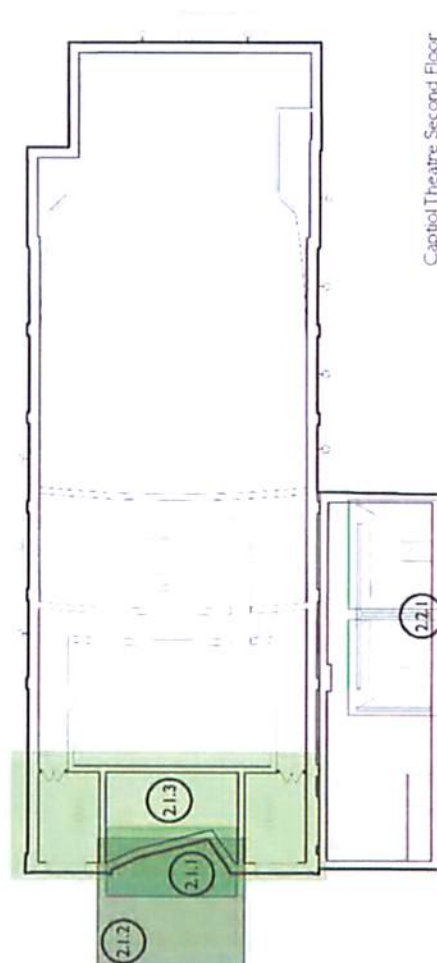
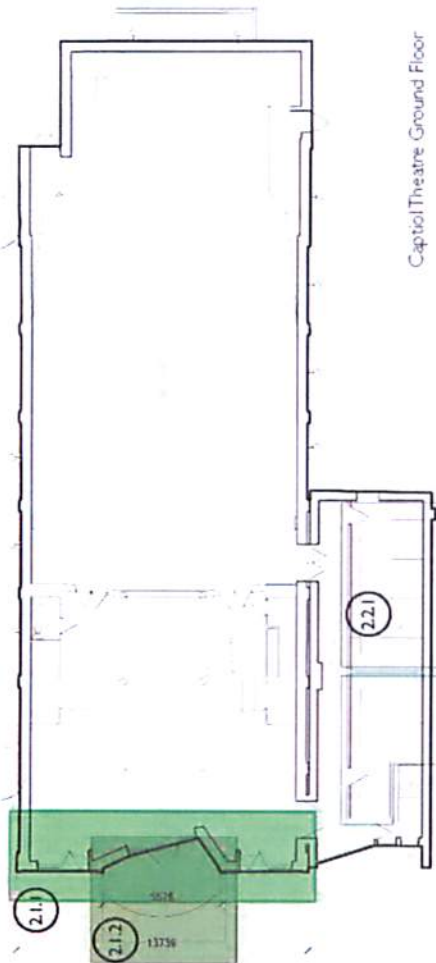
- 2.1.1 Restore Original Ground Floor, Facade and Main Theatre Entrance
 - 2.1.1.1 Remove existing storefront windows, doors and infill walls
 - 2.1.1.2 Provide new glazing for windows and doors
 - 2.1.1.3 Provide new wood moldings, transoms, kneewalls and display cases etc. as shown on original drawings and photos (1922 Hall and Duerr, Architects and Industrial Engineers)
 - 2.1.1.4 Reinststate decorative plaster work above ground floor entrance
- 2.1.2 Reinststate Arched Wood Covered with Galvanized Metal Marquis.
 - 2.1.2.1 Remove existing marquis, full width of building
 - 2.1.2.2 Install arched marquis according to 1922 drawings and early photos.
 - 2.1.2.3 Include all decorative elements described on original drawings
- 2.1.3 Reinststate & Restore 2nd Floor Terraces and Gate**
 - 2.1.3.1 Remove infill on 2nd & 3rd floors including exterior walls, roof assembly & windows
 - 2.1.3.2 Remove toilet and floor on second floor between the original terraces
 - 2.1.3.3 Provide guard wall with coping stone and flower box
 - 2.1.3.4 Provide sloped lattice above terrace (2x6 with ribbons) with decorative ends
 - 2.1.3.5 Provide new doors on verandah (2 on returns and 2 doubles on main)
 - 2.1.3.6 Make good stucco wall as required (marquis removal and terrace reinstatement)
 - 2.1.3.7 Provide new flooring on terrace balconies and drain
 - 2.1.3.8 Provide new oval window to replace existing medalion
 - 2.1.3.9 Repair (possibly replace) existing wood brackets as required
 - 2.1.3.10 Make good existing fascia & soffits
 - 2.1.3.11 Make good eaves gutter on return of gables
- 2.1.4 Upgrade Existing Lighting and Restore Exterior Heritage Fixings
 - 2.1.4.1 Allow for feature lighting and display cases
 - 2.1.4.2 Allow lighting budget for interior electrical connections to be upgraded

** Dependent on the removal of washrooms from second floor balcony in the Capitol Theatre

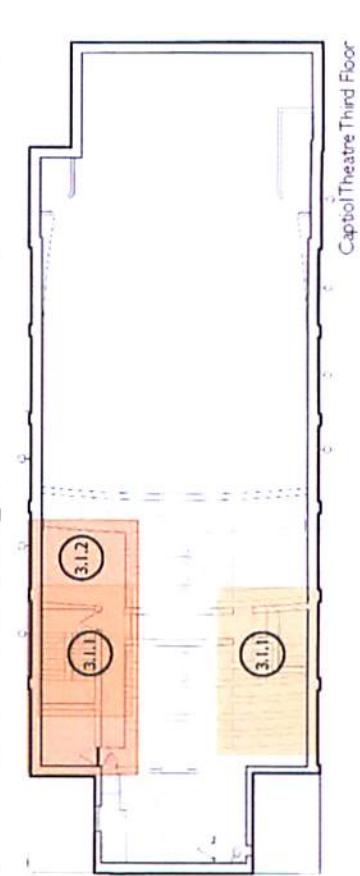
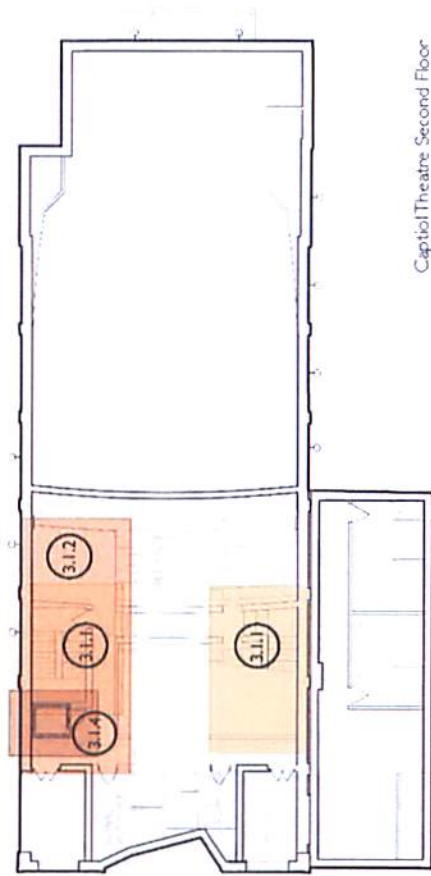
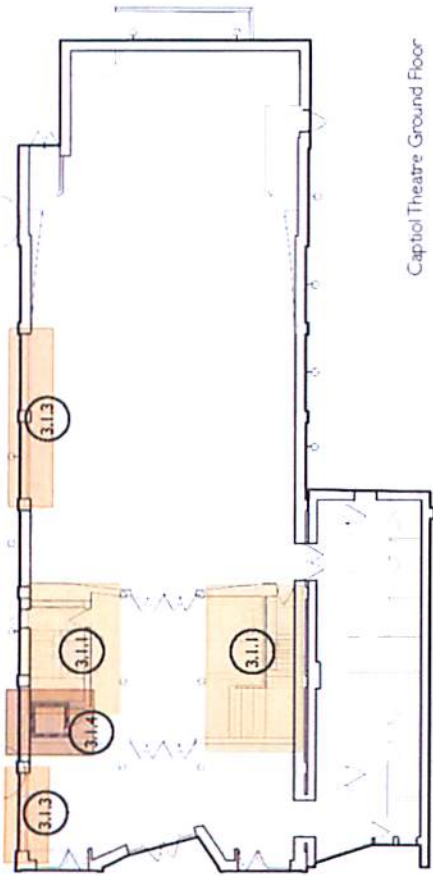
2.2. 80 Main Street North Level 2 Incorporation into The Capitol

- 2.2.1 Upgrade Interior to House Overflow Services for Capitol Theatre
 - 2.2.1.1 Upgrade to accommodate barrier-free access and egress (if necessary)
 - 2.2.1.2 Reft plumbing (to accommodate washrooms for the Capitol)
 - 2.2.1.3 Reft partitions (to accommodate washrooms for the Capitol and admin space)
 - 2.2.1.4 Make good interior (paint and flooring)

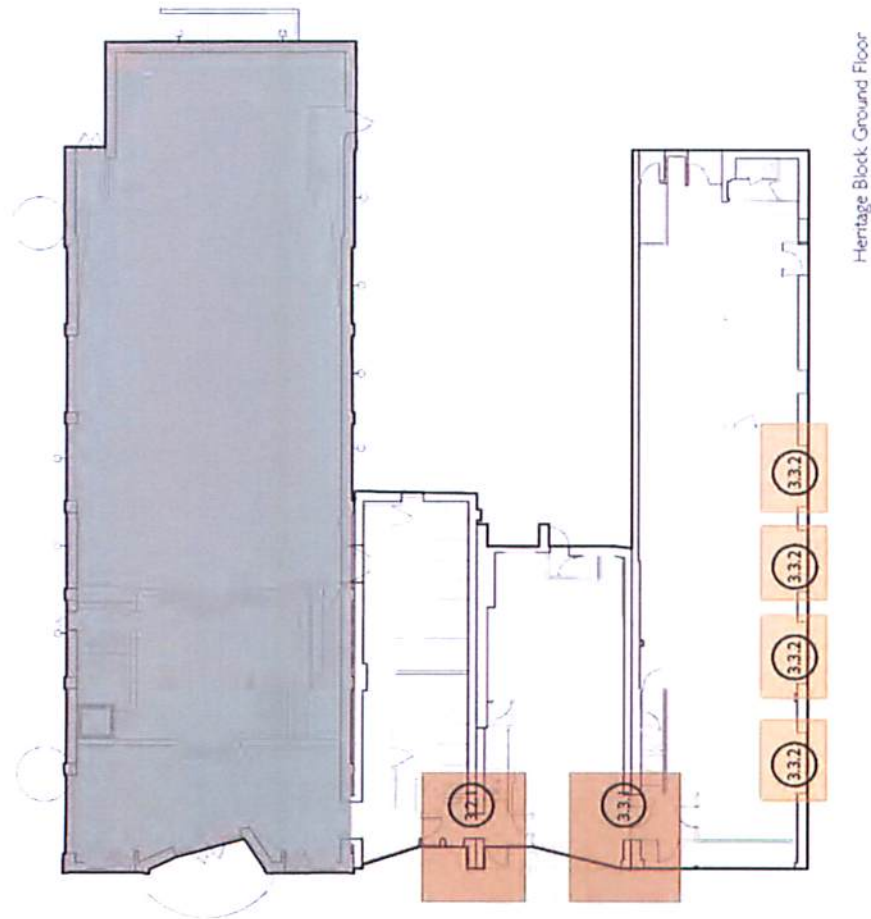
3016



3. Phase 1 Level 3.
- 3.1. Capitol Theatre Level 3 Programme/Use-Specific Upgrades
- 3.1.1 Provide New Stairs
 - 3.1.1.1 Remove existing stairs
 - 3.1.1.2 Re-state stairs according to original drawings or
 - 3.1.1.3 Provide 2 new stairs to suit new programme.
 - 3.1.2 Remove Balcony from Balcony (requires further structural investigation)
 - 3.1.2.1 Allow for structural investigation and design
 - 3.1.2.2 Remove seating
 - 3.1.2.3 Remove concrete raked floor
 - 3.1.2.4 Provide new floor (steel deck with concrete topping)
 - 3.1.3 New Openings in North Wall
 - 3.1.3.1 Allow for new lintels and structural work for installation
 - 3.1.3.2 Provide new windows/doors
 - 3.1.4 Install Elevator to Allow Barrier-Free Access to Balcony



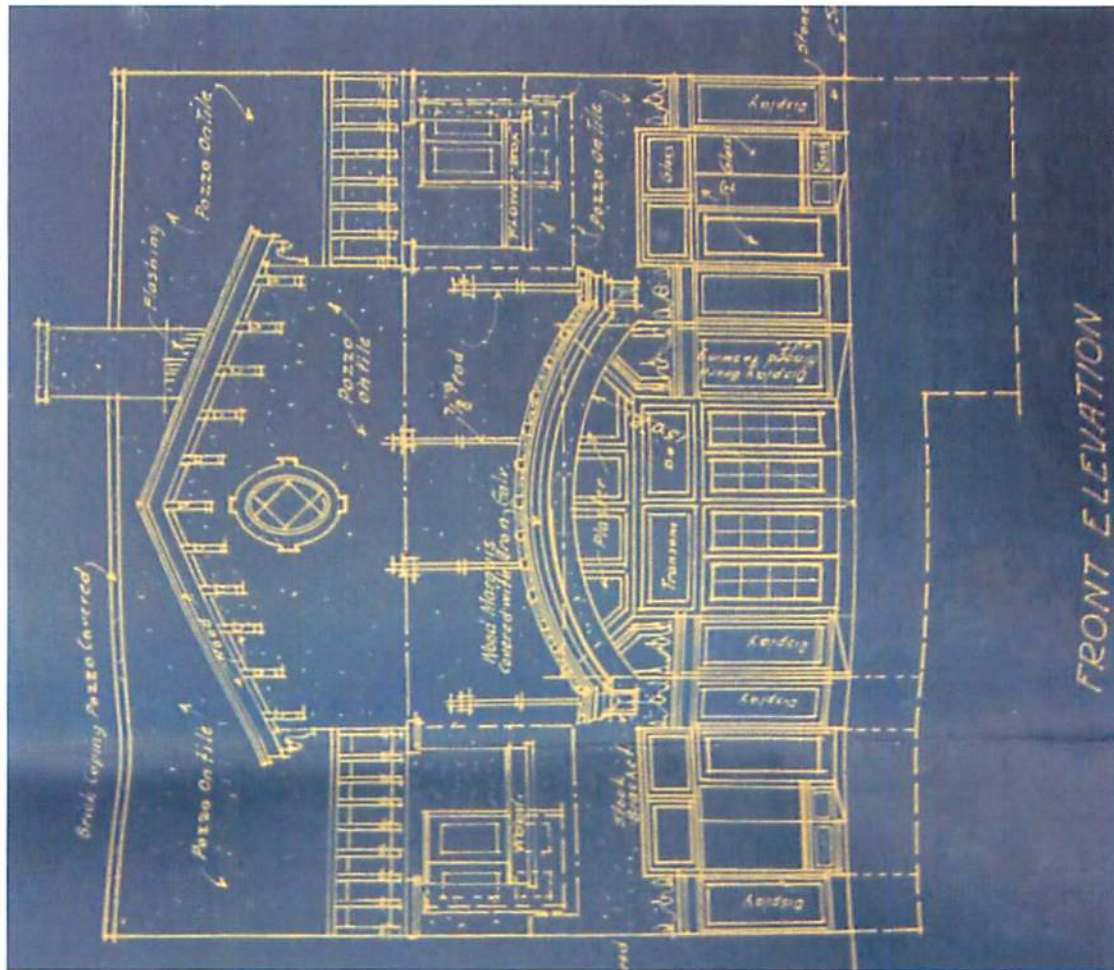
- 3.2. No. 76-80 Main Street North Level 3 Programme/User Specific Upgrades
 - 3.2.1. Make interior connection(s) between 76-78 and No. 80 wall
 - 3.2.1.1. Allow for structural shoring and installation of lintel(s) in denising wall
 - 3.2.1.2. Provide new stairs at rear for 2nd means of egress
- 3.3. No. 72-74 Main Street North Level 3 Programme/User Specific Upgrades
 - 3.3.1. Make interior connection(s) between 76-78 and No. 80 wall
 - 3.3.1.1. Allow for structural shoring and installation of lintel(s) in denising wall
 - 3.3.1.2. Provide new stairs at rear for 2nd means of egress
 - 3.3.2. Make new openings on south facade
 - 3.3.2.1. Allow for structural shoring and installation of lintel(s) in south facade
 - 3.3.2.2. Install new windows/doors to make visual connection with Chies Park



ADAPTIVE REUSE: ORIGINAL 1922 MAIN STREET FACADE F7-53

Drawings not to scale
100514

C.H.A.
Architects, Inc.

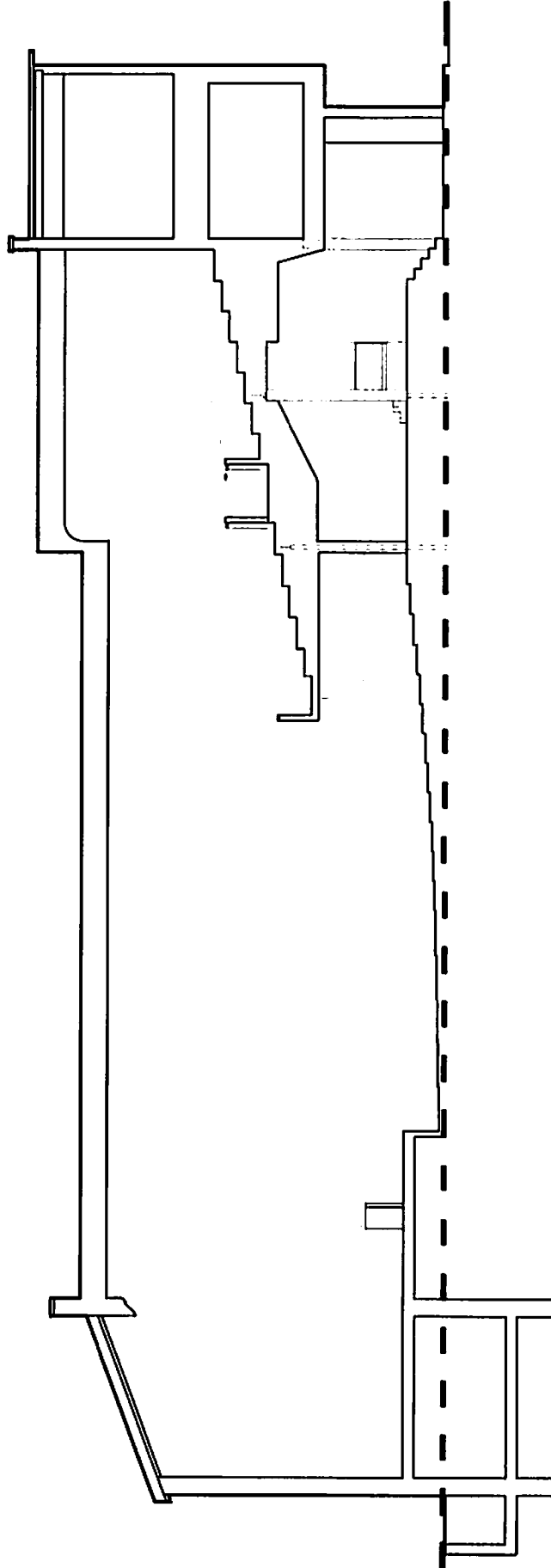


F7-55

ADAPTIVE REUSE: EXISTING SECTION THROUGH CAPITOL THEATRE O.C.

Drawings not to scale
100614

E. B. A.



(1.1) Dotted blue line represents the leveling of the floor

Appendix 'C': Council Resolutions

**I 2. Minutes – Committee of Council – February 23, 2005
(City Councillor Callahan, Chair)**

**C042-2005 Moved by City Councillor Hutton
Seconded by Regional Councillor Sprovieri**

That the Minutes of the Committee of Council Meeting of February 23, 2005 to the Council Meeting of February 28, 2005, Recommendations CW022-2005 to CW044-2005, be approved as amended in Recommendation CW090-2005, Clause 4, as follows:

"CW090-2004 4. That, notwithstanding the outcome of Parts 2 and 3, the buildings contained within the Heritage Theatre Block will remain in place for at least twenty-four (24) to thirty-six (36) months after the completion of the work outlined in Phase 1; and"

- CW090-2005**
- 1. That the report from A. Wong, Project Manager, Urban Design and Public Buildings, Planning, Design and Development, and Alex Taranu, Manager of Urban Design and Public Buildings, Planning, Design and Development, dated February 17, 2005, to the Committee of Council Meeting of February 23, 2005, re: **Heritage Theatre Block Property Improvement and Redevelopment Study Proposal (File B-60)**, be received; and**
 - 2. That Phase One of the proposal for painting and minor renovation improvements to the Heritage Theatre Block be approved, and that \$100, 000 be included in the proposed 2005 Budget for this purpose; and**
 - 3. That Phase Two of the proposal's outlined scope of work be approved, and that \$75, 000 be included in the proposed 2005 Budget for this purpose; and**
 - 4. That, notwithstanding the outcome of Parts 2 and 3, the buildings contained within the Heritage Theatre Block will remain in place for at least twenty-four (24) to thirty-six (36) months after the completion of the work outlined in Phase 1; and,**
 - 5. That staff be directed to include a public consultation process to assist in determining the highest, best and most appropriate use for the property.**

